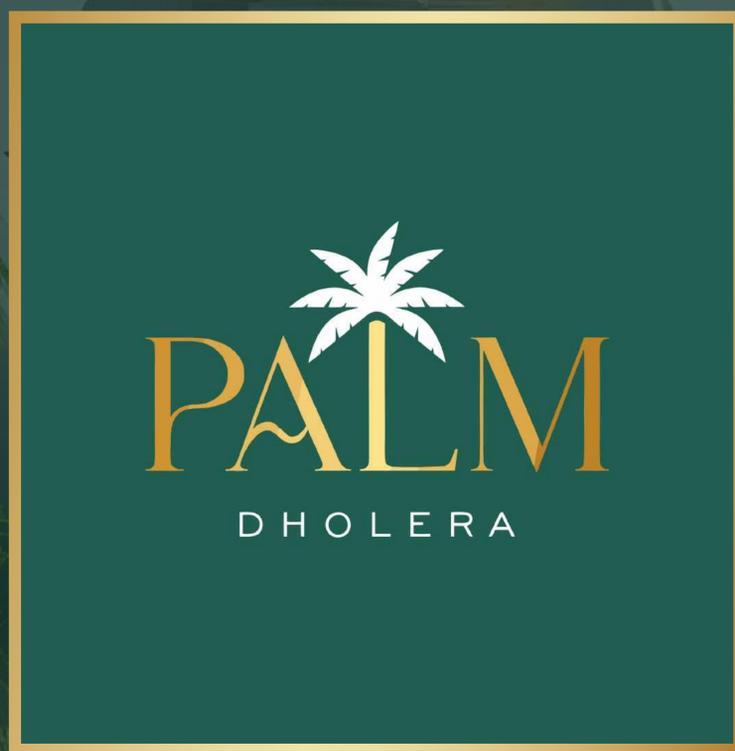


# ANGEL PALM DHOLERA

NATURE'S GREEN RETREAT



DHOLERA'S GREENEST ADDRESS.  
WHERE SPIRITUALITY MEETS SERENITY



**Angel Nova**

Group of Estate Leaders

ANGEL NOVA LEGACY  
ESTABLISHED IN 2018

4 PROJECTS IN DHOLERA

ANGEL PALM IS THE 1ST FLAGSHIP PLOTTED PROJECT

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# Introducing Angel Palm Dholera

Premium Residential Plots, Dholera



# PROJECT OVERVIEW:



Residential Plots



Near Hanuman Mandir, Kamiyala, Dholera, Gujarat



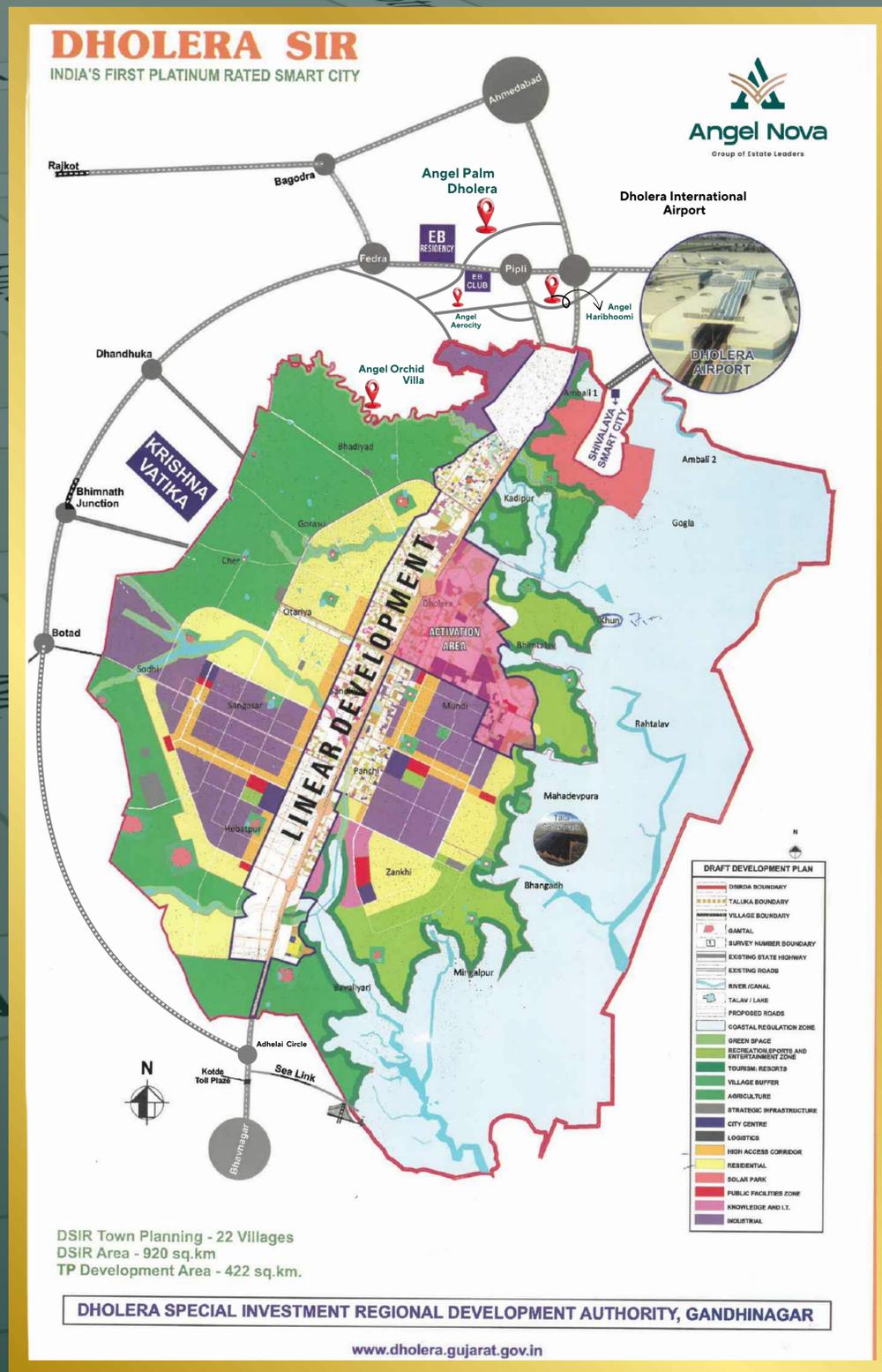
Total Project Area **5 Acres**



Possession July 2026



134 to 318 Sq. Yards



## LOCATION ADVANTAGES NEARNESS TO KEY HUBS:

- Dholera International Airport - **10 min**
- Ahmedabad Expressway - **2 min**
- Lothal Museum (World's Largest) - **15 min**
- Dholera SIR Region - **10 min**
- Upcoming Multi-Speciality Hospital - **4-5 min**
- Shopping & Commercial Hubs : **Nearby**



# CONSTRUCTION GUIDELINES

**G+3 Villa Future Development Zone**

**Sizes labeled clearly (134 to 318 sq. yds)**

**Marked gated entrance & Green cover**

**Maximum Coverage Area**

# WHY ANGEL PALM DHOLERA?

---

- 100% Clear Title
- 40% landscaped area
- Hanuman Mandir proximity
- Ideal for spiritual & peaceful living



# ANGEL PALM DHOLERA LIFESTYLE

---

- **Calm Environment**
- **Vastu-Friendly Plots**
- **Spiritual Zone**
- **Meditation Garden**
- **Yoga, Wellness, and Clean Air**



# CLUBHOUSE AMENITIES:

---

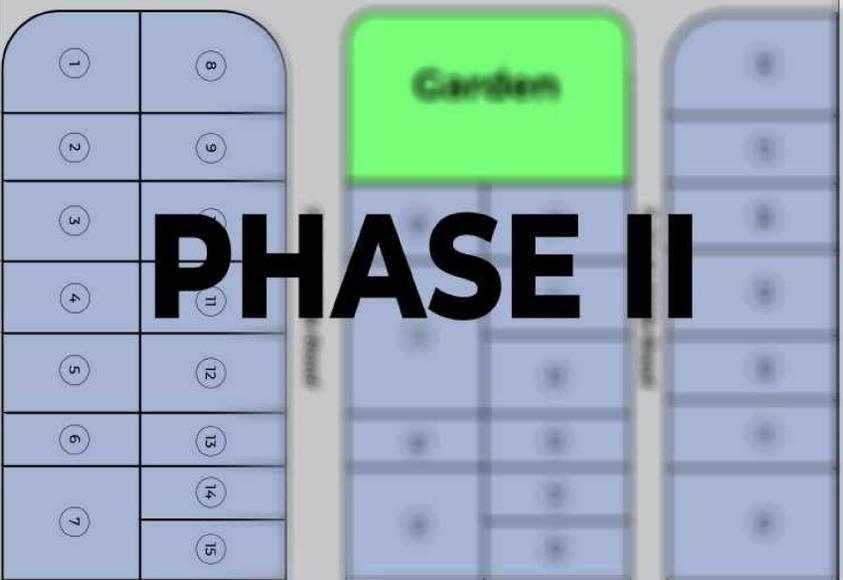
- **Swimming Pool**
- **Card Room**
- **Library**
- **Dance & Yoga Hall**
- **Café Loung**



# MASTER PLAN, ANGEL PALM DHOLERA

2200 sq.yd. Park

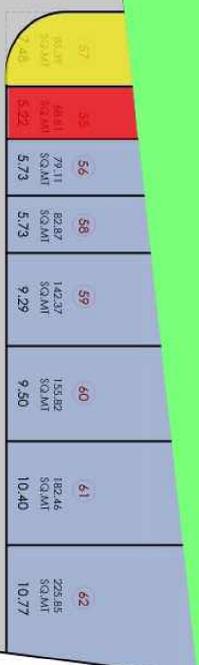
## PHASE II



COMING SOON  
.....

12.00 M WIDE CROSS OVER ROAD

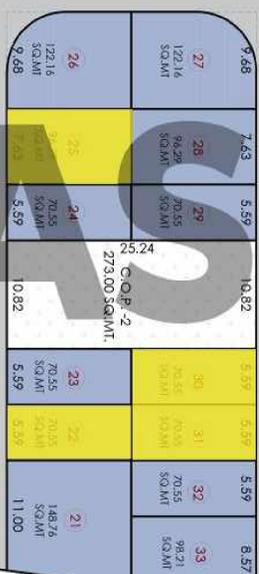
12.00 M WIDE CROSS OVER ROAD



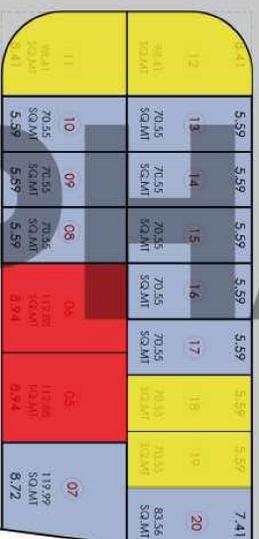
7.50 M WIDE ROAD



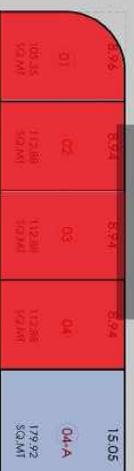
7.50 M WIDE ROAD



7.50 M WIDE ROAD



7.50 M WIDE ROAD



G.O.P.-1  
760.00 SQ.MT.

ROAD CENTERLINE

BUILDING CONTROL LINE

CD-03A  
**PALM DHOLERA**  
PROPOSED RESIDENTIAL PLOTTING LAYOUT

**Sold out**  
**Booked**

18 MT.WIDE ROAD

ENTRY

18 MT. WIDE ROAD

**ANGEL NOVA GROUP**  
Regd. Company: Engelbert Estate Pvt. Ltd.  
Residential Township  
RS. NO. 430 AT KAMIPYLA, AHMEDABAD, GUJARAT.

TITLE: PROPOSED PLOTTING LAYOUT  
DRN. BY: NSHT BHALARA  
DNG. NO.: CD-03A  
DATE: 08/17/2025



ARCHITECTS  
**spin**  
NSHT BHALARA  
ANAND LAKHANI  
+91 87348 94912  
+91 78389 19829

# PLOTS AREA TABLE

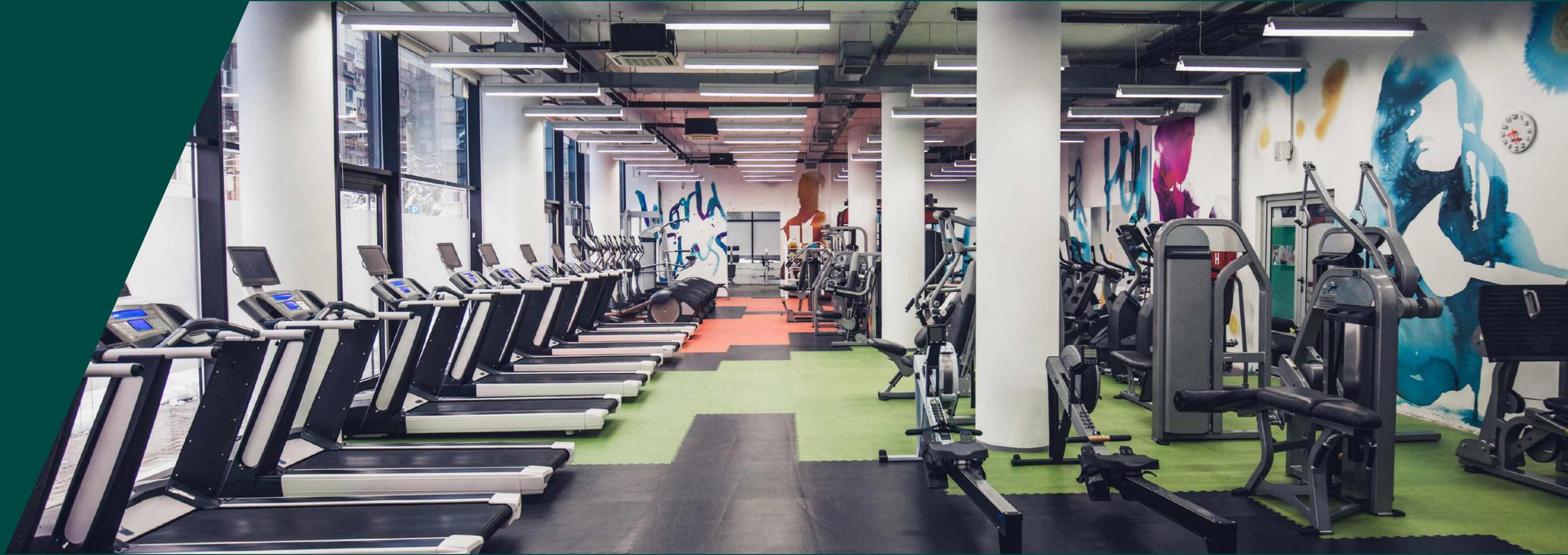
PALM DHOLERA									
AREA TABEL: RS. NO. 430 AT KAMIYALA									
PLOT NO.	UNIT: METER				UNIT: FEET				Remarks
	DIMENSION		PLOT AREA		DIMENSION (IN FEET)		PLOT AREA (SQ.YD.)		
	FRONT	DEPTH	CARPET	SU.B/A.	FRONT	DEPTH	CARPET	SU.B/A.	
<b>C.O.P.1</b>			<b>760.00</b>						
<b>1</b>	8.96	12.62	105.35	<b>191</b>	29.40	41.40	<b>126.00</b>	<b>229</b>	Sold
<b>2</b>	8.944	12.62	112.87	<b>205</b>	29.34	41.40	<b>135.00</b>	<b>245</b>	Sold
<b>3</b>	8.944	12.62	112.87	<b>205</b>	29.34	41.40	<b>135.00</b>	<b>245</b>	Sold
<b>4</b>	8.944	12.62	112.87	<b>205</b>	29.34	41.40	<b>135.00</b>	<b>245</b>	Sold
<b>4A</b>	15.05	12.62	179.92	<b>327</b>	49.38	41.40	<b>215.18</b>	<b>391</b>	
<b>5</b>	8.944	12.62	112.87	<b>205</b>	29.34	41.40	<b>135.00</b>	<b>245</b>	Sold
<b>6</b>	8.944	12.62	112.87	<b>205</b>	29.34	41.40	<b>135.00</b>	<b>245</b>	Sold
<b>7</b>	8.72	12.62	119.99	<b>218</b>	28.61	41.40	<b>143.51</b>	<b>261</b>	
<b>8</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>9</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>10</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>11</b>	8.41	12.62	98.41	<b>179</b>	27.59	41.40	<b>117.70</b>	<b>214</b>	
<b>12</b>	8.41	12.62	98.41	<b>179</b>	27.59	41.40	<b>117.70</b>	<b>214</b>	
<b>13</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>14</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>15</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>16</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>17</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>18</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>19</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>20</b>	7.41	12.62	83.56	<b>152</b>	24.31	41.40	<b>99.94</b>	<b>182</b>	
<b>21</b>	11	12.62	148.76	<b>270</b>	36.09	41.40	<b>177.92</b>	<b>323</b>	
<b>22</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>23</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>24</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>25</b>	7.63	12.62	96.29	<b>175</b>	25.03	41.40	<b>115.16</b>	<b>209</b>	Sold
<b>26</b>	9.68	12.62	122.16	<b>222</b>	31.76	41.40	<b>146.11</b>	<b>265</b>	Sold
<b>27</b>	9.68	12.62	122.16	<b>222</b>	31.76	41.40	<b>146.11</b>	<b>265</b>	Sold
<b>28</b>	7.63	12.62	96.29	<b>175</b>	25.03	41.40	<b>115.16</b>	<b>209</b>	
<b>29</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>30</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>31</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>32</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
			<b>3034.95</b>	<b>5513</b>			<b>3630</b>	<b>6594</b>	
			Sq.Mt.	Sq.Mt.			Sq. Yd.	Sq. Yd.	

# PLOTS AREA TABLE

## PALM DHOLERA

AREA TABEL: RS. NO. 430 AT KAMIYALA

PLOT NO.	UNIT: METER				UNIT: FEET				Remarks
	DIMENSION		PLOT AREA		DIMENSION (IN FEET)		PLOT AREA (SQ.YD.)		
	FRONT	DEPTH	CARPET	SU.B/A.	FRONT	DEPTH	CARPET	SU.B/A.	
<b>C.O.P.2</b>			<b>273.00</b>						
<b>33</b>	8.57	12.62	<b>98.21</b>	<b>178</b>	28.12	41.40	<b>117.46</b>	<b>213</b>	
<b>34</b>	12.46	12.62	167.29	<b>304</b>	40.88	41.40	<b>200.08</b>	<b>363</b>	
<b>35</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>36</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	Sold
<b>37</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	Sold
<b>38</b>	6.029	12.62	76.09	<b>138</b>	19.78	41.40	<b>91.00</b>	<b>165</b>	Sold
<b>39</b>	4.77	12.62	60.20	<b>109</b>	15.65	41.40	<b>72.00</b>	<b>131</b>	Sold
<b>40</b>	4.77	12.62	60.20	<b>109</b>	15.65	41.40	<b>72.00</b>	<b>131</b>	Sold
<b>41</b>	4.77	12.62	60.20	<b>109</b>	15.65	41.40	<b>72.00</b>	<b>131</b>	Sold
<b>42</b>	4.24	12.62	53.51	<b>97</b>	13.91	41.40	<b>64.00</b>	<b>116</b>	Sold
<b>43</b>	6.19	12.62	70.43	<b>128</b>	20.31	41.40	<b>84.23</b>	<b>153</b>	Sold
<b>44</b>	5.38	12.62	60.20	<b>109</b>	17.65	41.40	<b>72.00</b>	<b>131</b>	Sold
<b>45</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>46</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>47</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>48</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>49</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>50</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	Sold
<b>51</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	Sold
<b>52</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>53</b>	5.59	12.62	70.55	<b>128</b>	18.34	41.40	<b>84.37</b>	<b>153</b>	
<b>54</b>	6.5	12.62	71.98	<b>131</b>	21.33	41.40	<b>86.09</b>	<b>156</b>	Sold
<b>55</b>	5.22	13.58	68.81	<b>125</b>	17.13	44.55	<b>82.30</b>	<b>150</b>	Sold
<b>56</b>	5.73	14.24	79.11	<b>144</b>	18.80	46.72	<b>94.62</b>	<b>172</b>	
<b>57</b>	7.48	12.88	85.39	<b>155</b>	24.54	42.26	<b>102.13</b>	<b>186</b>	Sold
<b>58</b>	5.73	14.90	82.87	<b>151</b>	18.80	48.88	<b>99.11</b>	<b>180</b>	
<b>59</b>	9.29	15.96	142.37	<b>259</b>	30.48	52.36	<b>170.27</b>	<b>309</b>	
<b>60</b>	9.5	17.05	155.82	<b>283</b>	31.17	55.94	<b>186.36</b>	<b>339</b>	
<b>61</b>	10.4	18.24	182.46	<b>331</b>	34.12	59.84	<b>218.22</b>	<b>396</b>	
<b>62</b>	10.87	19.81	225.85	<b>410</b>	35.66	64.99	<b>270.12</b>	<b>491</b>	
			<b>2647.53</b>	<b>4810</b>			<b>3166</b>	<b>5752</b>	
			Sq.Mt.	Sq.Mt.			Sq. Yd.	Sq. Yd.	
			5682.48	<b>10323.15</b>			6796.24	<b>12346.49</b>	



# 79 AMENITIES

## LIFESTYLE & RECREATION

- Gym
- Kids Play Area
- Meditation Garden
- Yoga Hall
- Jogging Track
- Amphitheatre



# 79 AMENITIES

## SECURITY & INFRA

---

- Gated Society
- 24x7 Security
- CCTV Surveillance
- Underground Cabling
- Wide Internal Roads
- Rainwater Harvesting



# 79 AMENITIES

## CONVENIENCE & COMMUNITY

- Parking for Visitors
- Outdoor Café
- Solar Lighting
- Community Hall
- Waste Disposal Units

# INVESTMENT VALUE STRATEGIC INVESTMENT IN DHOLERA SIR REGION

## IDEAL FOR:

---

- End-users
- Weekend home seekers
- Investors looking for high ROI
- Limited Plots – High appreciation zone



# DHOLERA SIR MAP

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

DHOLERA SPECIAL INVESTMENT REGIONAL DEVELOPMENT AUTHORITY, GANDHINAGAR

DRAFT DEVELOPMENT PLAN

PROPOSED LANDUSE PLAN : 2010-2040

SANCTIONED BY APEX AUTHORITY (GIDB)  
ON 10/09/2012 AND CAME INTO  
FORCE ON 10-09-2012

### LEGEND

- DSIRDA BOUNDARY
- TALUKA BOUNDARY
- VILLAGE BOUNDARY
- GANTAL
- SURVEY NUMBER BOUNDARY
- EXISTING STATE HIGHWAY
- EXISTING ROADS
- RIVER / CANAL
- TALAV / LAKE
- PROPOSED ROADS
- COASTAL REGULATION ZONE
- GREEN SPACE
- RECREATION, SPORTS AND ENTERTAINMENT ZONE
- TOURISM: RESORTS
- VILLAGE BUFFER
- AGRICULTURE
- STRATEGIC INFRASTRUCTURE
- CITY CENTRE
- LOGISTICS
- HIGH ACCESS CORRIDOR
- RESIDENTIAL
- SOLAR PARK
- PUBLIC FACILITIES ZONE
- KNOWLEDGE AND I.T.
- INDUSTRIAL



NOT TO SCALE

DHOLERA SPECIAL INVESTMENT REGIONAL  
DEVELOPMENT AUTHORITY, GANDHINAGAR  
DSIRDA

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

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# NEARBY INFRASTRUCTURE

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- Dholera Expressway
- Dholera SIR activation zones
- International Airport under development
- Smart city planning



# ANGEL NOVA PROJECTS

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- Angel Aerocity
- Angel Orchid Villas
- Angel Haribhoomi
- **Angel Palm Dholera**



# BOOKING PROCESS STEP-BY-STEP GUIDE:

---

Visit Site

Choose Plot

Pay Booking Amount

Documentation & Registration

Plot Handover

Payment Plan (on request)



## FAQS

---

- **Is the project approved?**

Yes, Angel Palm Dholera is a 100% Title Clear project.

We have NA (Non-Agricultural) clearance, NOC, and Plan Passed approvals in place.

- **Can I build immediately?**

Yes! The project is Ready to Move.

You can start construction on your plot right away.

- **Are there EMI or loan options?**

Absolutely. We offer easy EMI plans and loan assistance to make your investment smoother.

- **What documents will be provided?**

You will receive all legally required documents including:

1. Sale deed / Registry
2. Title certificate
3. NA Order
4. Plot demarcation/layout
5. All approval papers (NOC, Plan Passed)



# Angel Nova

Group of Estate Leaders

HEAD OFFICE - PLOT NO. 775P, NEAR UNITECH CYBERPARK, SECTOR 39, GURUGRAM

SITE ADDRESS – NEAR HANUMAN MANDIR, KAMIYALA, DHOLERA

 [www.angelnova.in](http://www.angelnova.in)

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